



**harrisdale
green**

STAGE 2A DETAILED AREA PLAN (plan not to scale)

(LOTS 404-411, 499-502, 513-516, 522-529)

Department of
HOUSING
Government of Western Australia
Cedar Woods

The Detailed Area Plan has been approved by the City under Clause 6A.5 of Town Planning Scheme No. 4.

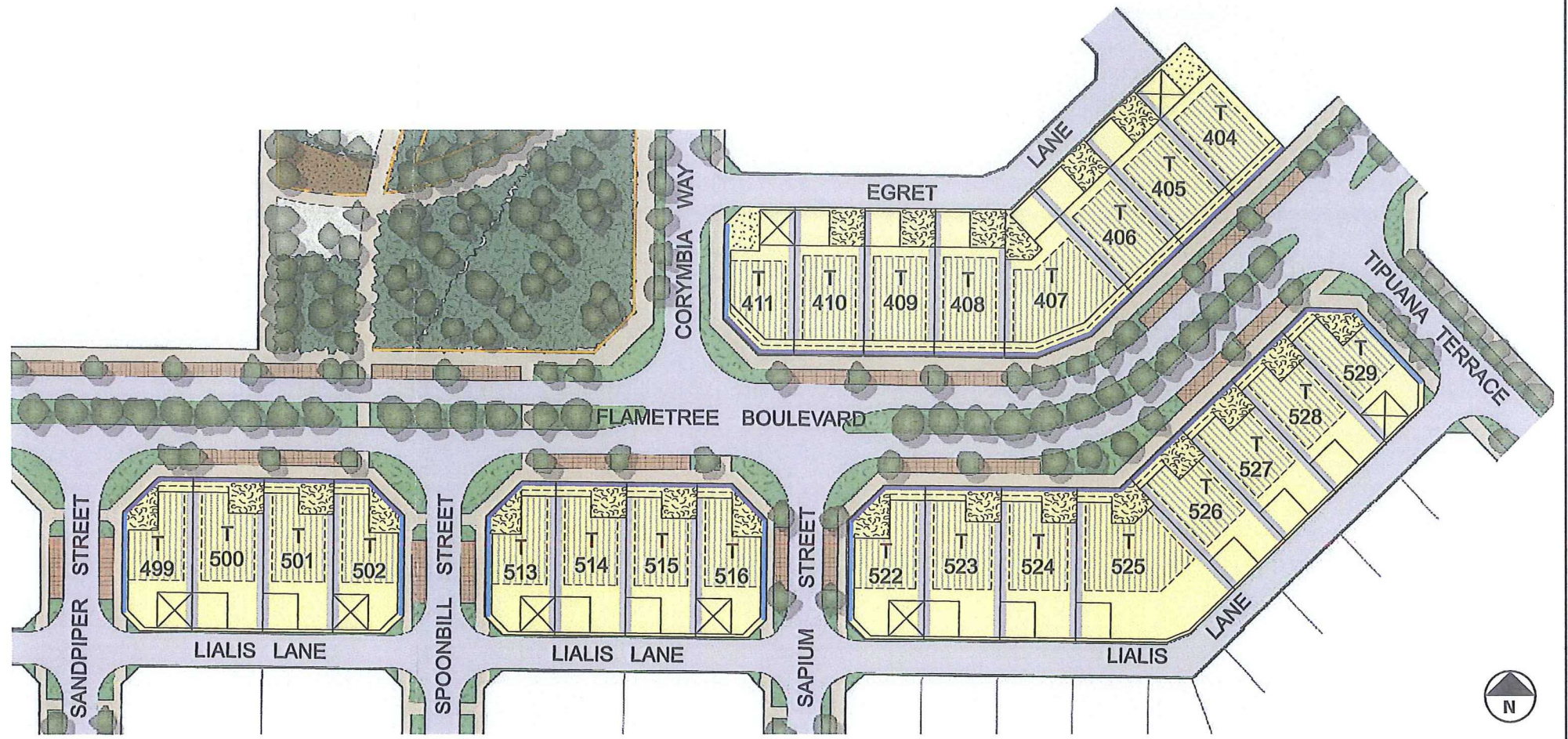
[Signature]
Executive Manager Planning Services
City of Armadale

23/2/11
Date

R-Coding	R30
R-Codes	The requirements of the Residential Design Codes (R-Codes) apply to all lots in the DAP area unless otherwise varied below or illustrated within the DAP.
Minimum Open Space	40%

GENERAL PROVISIONS:

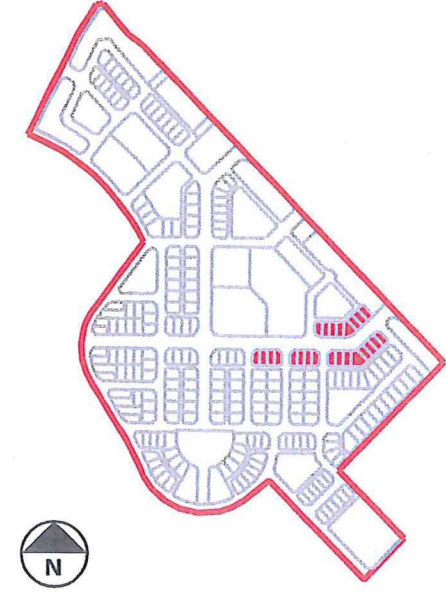
- The design of dwellings shall include a primary/front style elevation towards the nominated 'Secondary Street' as shown on the DAP in addition to one which addresses the Primary Street. The primary/front style elevations shall consist of at least one major opening overlooking the Primary Street and where applicable at least one major opening overlooking a Secondary Street.
- The maximum height of a boundary wall shall be 3.5m from natural ground level provided the wall length does not exceed two-thirds of the length of the balance of the boundary behind the Primary Street minimum setback line. Where the length of a nil boundary wall is more than two-thirds of the length of the balance of the boundary behind the Primary Street minimum setback line, the maximum boundary wall height shall be 3.0m.
- Where proposed, two storey areas shall be contained within front 65% of lot length between the minimum Primary Street and rear setback lines.
- Vehicle access to the lot is only permitted via the designated garage location or lane.
- Where it can be demonstrated via the cone of vision that there will be no overlooking of major openings or outdoor living areas, then the development is considered to meet the Performance Criteria of the R-Codes for visual privacy.
- Dwellings shall be designed so primary indoor living areas (e.g. living rooms, dining areas, kitchens) and a private useable outdoor area (e.g. verandah, pergola, patio or an outdoor living area) accessible from a habitable room are on the north side of the dwelling. These indoor and outdoor areas shall be positioned so they are open to winter sun but protected from summer sun with sufficient eaves or other shade structures. In instances where the front of the lot is orientated to the north, outdoor living areas as required by the R-Codes do not necessarily need to be within front setback areas.
- Front verandahs, pergolas patios or the like at the front of a dwelling shall be constructed as an integral part of dwelling and be constructed in materials to complement the dwelling.
- Estate provided fencing/retaining on private lots to the Primary and Secondary Streets shall not be modified without written approval from the City and shall be maintained as visually permeable by landowners where applicable.
- Fencing along a Secondary Street frontage shall be visually permeable above 1.2m for at least two thirds of its length to a maximum height of 1.8m measured from the finished lot level (fencing needs to take in to consideration General Provision No. 1 - i.e. a visually permeable section needs to be in front of applicable major openings overlooking a Secondary Street).
- All letter boxes and street numbers shall address the Primary Street.



LEGEND

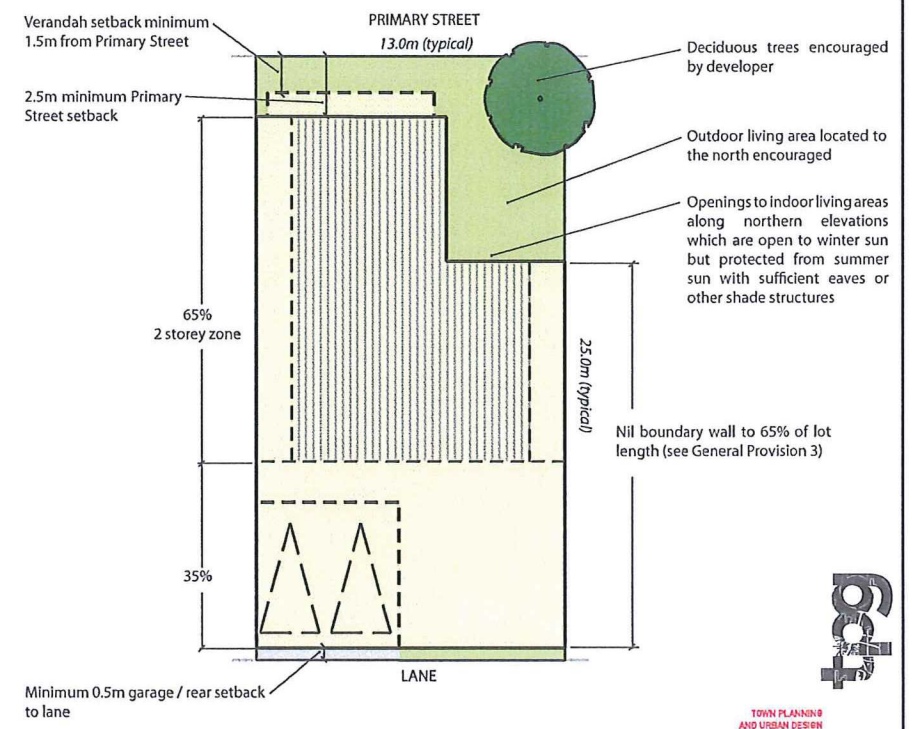
- T** Townhouse Lot (R30) with vehicular access via laneway only (i.e. Lialis and Egret Lanes)
- Designated garage location
- Preferred garage location
- Designated zone for outdoor living area
- Preferred zone for outdoor living area
- Designated two storey zone
- Nominated boundary wall location/s (if proposed)
- Primary street - no vehicle access permitted
- Secondary street

HARRISDALE GREEN ESTATE STAGE 2A



INDICATIVE SITE PLAN (as applied to north facing lots)

Design Intent: These smaller single residential lots benefit from rear laneway access and close proximity to major neighbourhood roads, activity centres and public open space.



T TOWNHOUSE LOT PROVISIONS

Minimum Outdoor Living Area	36m ²	
Nil Boundary walls are permitted to both side boundaries, between the minimum Primary Street and rear setbacks where shown on the DAP. The maximum length of one nil side boundary wall shall be the full length of the boundary between the minimum Primary Street and rear setbacks, and the maximum length of the other nil side boundary wall shall be 65% of the boundary length measured from the minimum Primary Street setback for Lots 404 - 411 and the minimum rear setback for Lots 499 - 502, 513 - 516 & 522 - 529. Nil boundary wall permitted to one side boundary only, as shown on the DAP, for Lots 411, 499, 502, 513, 516, 522 & 529.		
Building Setbacks	Minimum (m)	Maximum (m)
Primary Street	2.5	4.0
Primary Street - Verandahs, pergolas, patios or the like	1.5	-
Secondary Street	1.0	-
Laneway setback - Southern boundary (Lots 499 - 502, 513 - 516 & 522 - 529)	0.5	-
Garage setback - Laneway (applies to all Lots)	0.5	-
Side setback - Eastern and Western boundaries	Nil (shown as Nominated Nil Boundary on DAP. See General Provision 2 and note above)	-

