



**harrisdale
green**

STAGE 3A DETAILED AREA PLAN (plan not to scale)

(LOTS 424-429)

Department of
HOUSING
Government of Western Australia
Cedar Woods

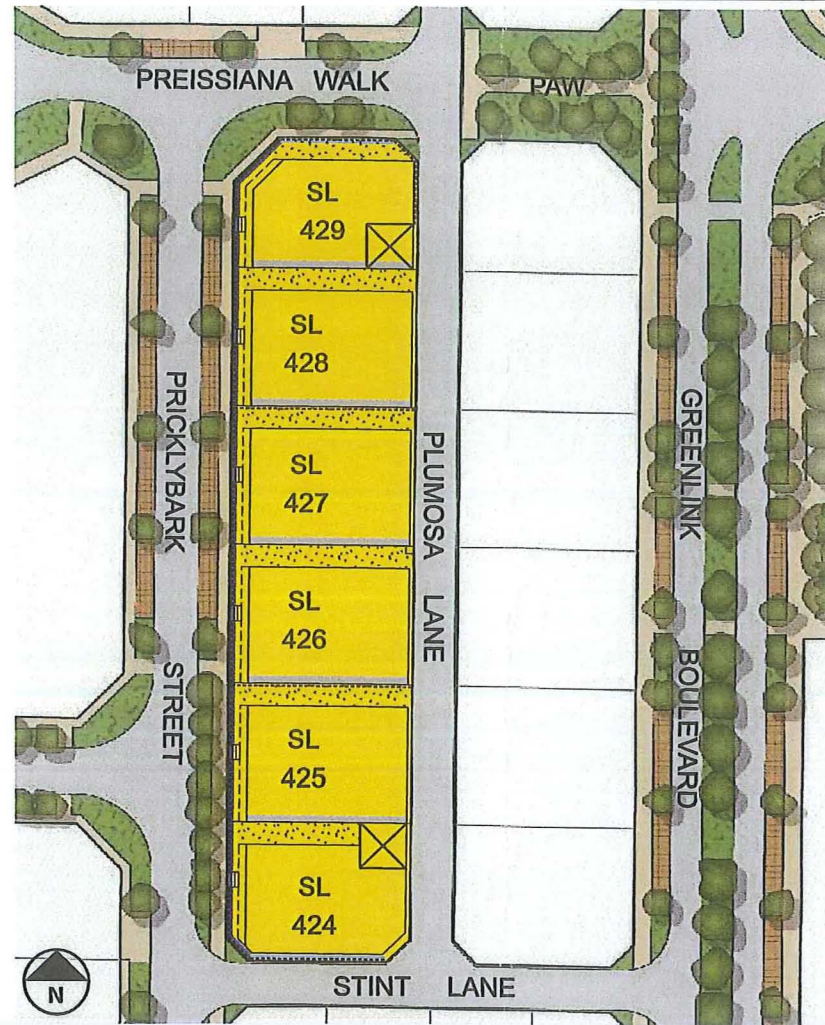
The Detailed Area Plan has been approved by the City under Clause 6A.5 of Town Planning Scheme No. 4.

Executive Manager Planning Services
City of Armadale
Date 29/9/11

R-Coding	R30
R-Codes	The requirements of the Residential Design Codes (R-Codes) apply to all lots in the DAP area unless otherwise varied below or illustrated within the DAP.
Minimum Open Space	40%

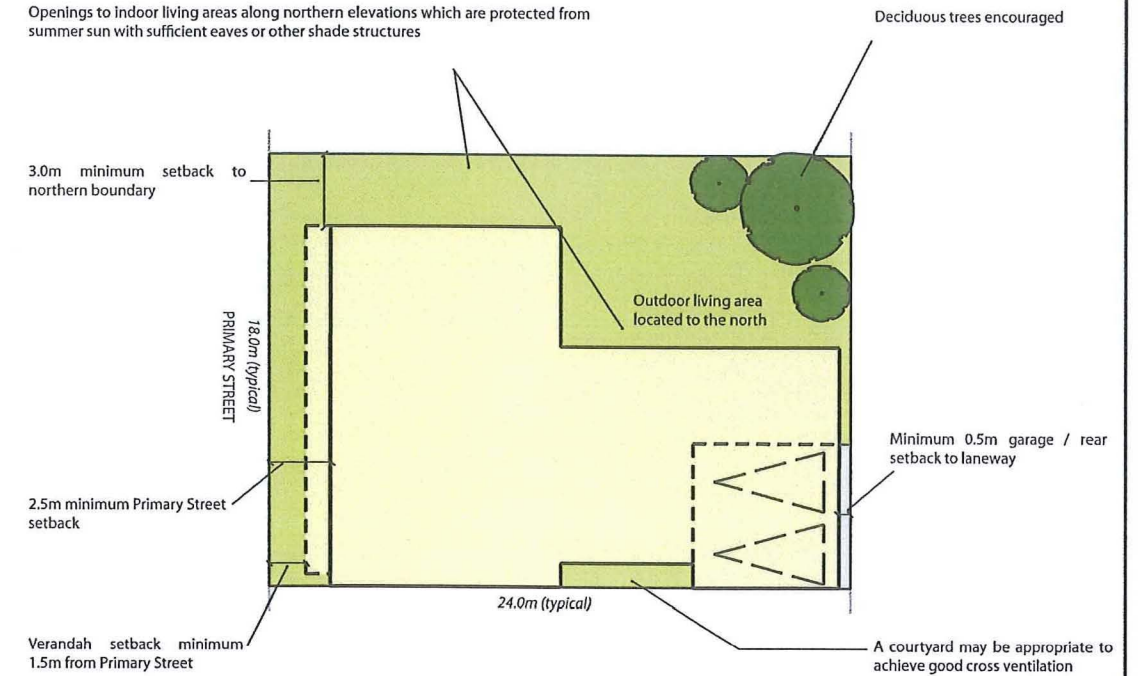
GENERAL PROVISIONS:

- The design of dwellings on corner lots shall include a primary/front style elevation towards the nominated Secondary Street as shown on the DAP in addition to one which addresses the Primary Street. The primary/front style elevation shall consist of at least one major opening overlooking the Primary Street and at least one major opening overlooking a Secondary Street.
- A boundary wall is allowed where shown on the DAP for the full length of the applicable boundary behind the Primary Street minimum setback line. Where the length of a boundary wall does not exceed two-thirds of the length of the balance of the boundary behind the Primary Street minimum setback line, the maximum boundary wall height for the full length of the wall shall be 3.5m. Where the length of a boundary wall is more than two-thirds of the length of the balance of the boundary behind the Primary Street minimum setback line, the maximum boundary wall height for the full length of the wall shall be 3.0m.
- Vehicle access to the lot is only permitted via the rear laneway.
- Dwellings shall be designed so primary indoor living areas (e.g. living rooms, dining areas, kitchens) and a private useable outdoor area (e.g. verandah, pergola, patio or an outdoor living area) accessible from a habitable room are on the north side of the dwelling. These indoor and outdoor areas shall be designed so they are protected from summer sun with sufficient eaves or other shade structures.
- Front verandahs, pergolas patios or the like at the front of a dwelling shall be constructed as an integral part of the dwelling and be constructed in materials to complement the dwelling.
- Estate provided fencing/retaining on private lots to the Primary and Secondary Streets shall not be modified without written approval from the City and shall be maintained as visually permeable by landowners where applicable.
- Fencing along a Secondary Street shall be visually permeable above 1.2m for at least two thirds of its length to a maximum height of 1.8m measured from the finished lot level (fencing needs to take in to consideration General Provision No. 1 - i.e. a visually permeable section needs to be in front of applicable major openings overlooking a Secondary Street).
- All letter boxes and street numbers shall address the Primary Street.
- Stormwater up to the 1 year 1 hour event shall be infiltrated at source with a minimum stormwater storage of 3.82m³ being provided within the lot boundaries, in compliance with the requirements of the adopted Urban Water Management Plan.



INDICATIVE SITE PLAN

Design Intent: The Square House Lot configuration, nil southern side setback and northern outdoor living areas will create a more efficient lot with comfortable and useable outdoor living areas.



SL SQUARE HOUSE LOT PROVISIONS

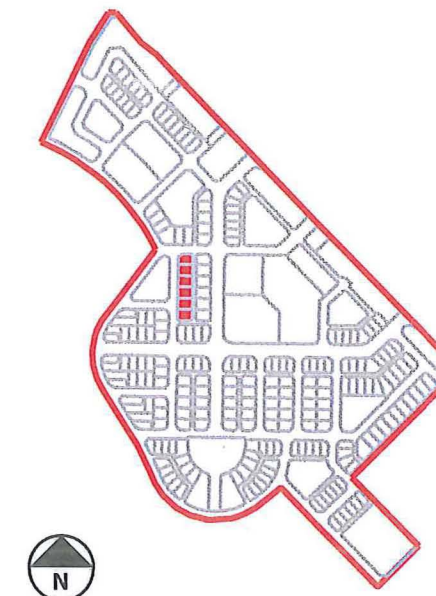
Minimum Outdoor Living Area	36m ²	
Building Setbacks	Minimum (m)	Maximum (m)
Primary Street	2.5	4.0
Primary Street - Verandahs, pergolas, patios or the like	1.5	-
Secondary Street - Stint Lane only	1.0	-
Rear setback	0.5	-
Side setback - Southern boundary excluding Lot 424 (refer to Provision No. 2)	Nil	-
Side setback - Northern boundary - Main dwelling	3.0	-
Side setback - Northern boundary - Verandahs, patios or the like (solar pergolas* are exempt)	2.5	-
Garage setback - Laneway	0.5	-

*A solar pergola is a pergola that is designed to allow direct winter sun access to north facing windows. The pergola may include battens so long as these are angled to allow sunlight access.

LEGEND

- Square House Lot (R30) with vehicular access via laneway only (i.e. Plumosa Lane)
- Designated garage location
- Designated zone for outdoor living area
- Nominated boundary wall location/s (if proposed)
- Primary street - no vehicle access permitted
- Secondary street - no vehicle access permitted
- Retaining wall location
- Staircase location

HARRISDALE GREEN ESTATE STAGE 3A



TOWN PLANNING
AND URBAN DESIGN