

R-Coding	R30
R-Codes	The requirements of the Residential Design Codes (R-Codes) apply to all lots in the DAP area unless otherwise varied below or illustrated within the DAP.
Minimum Open Space	40%

GENERAL PROVISIONS (apply to both lot types):

- The design of dwellings shall include a primary/front style elevation towards the nominated Secondary Street or PAW as shown on the DAP in addition to one which addresses the Primary Street. The primary/front style elevation shall consist of at least one major opening overlooking the Primary Street and where applicable one major opening overlooking a Secondary Street and/or a PAW.
- The maximum height of a boundary wall shall be 3.5m from natural ground level provided the wall length does not exceed two-thirds of the length of the balance of the boundary behind the Primary Street minimum setback line. Where the length of a nil boundary wall is more than two-thirds of the length of the balance of the boundary behind the Primary Street minimum setback line, the maximum boundary wall height shall be 3.0m.
- Vehicle access to the lot is only permitted via the rear laneway.
- Where it can be demonstrated via the cone of vision that there will be no overlooking of major openings or designated zones for outdoor living areas, then the development is considered to meet the Performance Criteria of the R-Codes for visual privacy.
- Dwellings shall be designed so primary indoor living areas (e.g. living rooms, dining areas, kitchens) and a private useable outdoor area (e.g. verandah, pergola, patio or an outdoor living area) accessible from a habitable room are on the north side of the dwelling. These indoor and outdoor areas shall be positioned so they are open to winter sun but protected from summer sun with sufficient eaves or other shade structures. In instances where the front of the lot is orientated to the north, outdoor living areas as required by the R-Codes do not necessarily need to be within front setback areas.
- Front verandahs, pergolas patios or the like at the front of a dwelling shall be constructed as an integral part of dwelling and be constructed in materials to complement the dwelling.
- Estate provided fencing/retaining on private lots to the Primary and Secondary Streets shall not be modified without written approval from the City and shall be maintained as visually permeable by landowners where applicable.
- Fencing along a Secondary Street or PAW frontage shall be visually permeable above 1.2m for at least two thirds of its length to a maximum height of 1.8m measured from the finished lot level (fencing needs to take in to consideration General Provision No. 1 - i.e. a visually permeable section needs to be in front of applicable major openings overlooking a Secondary Street).
- All letter boxes and street numbers shall address the Primary Street.

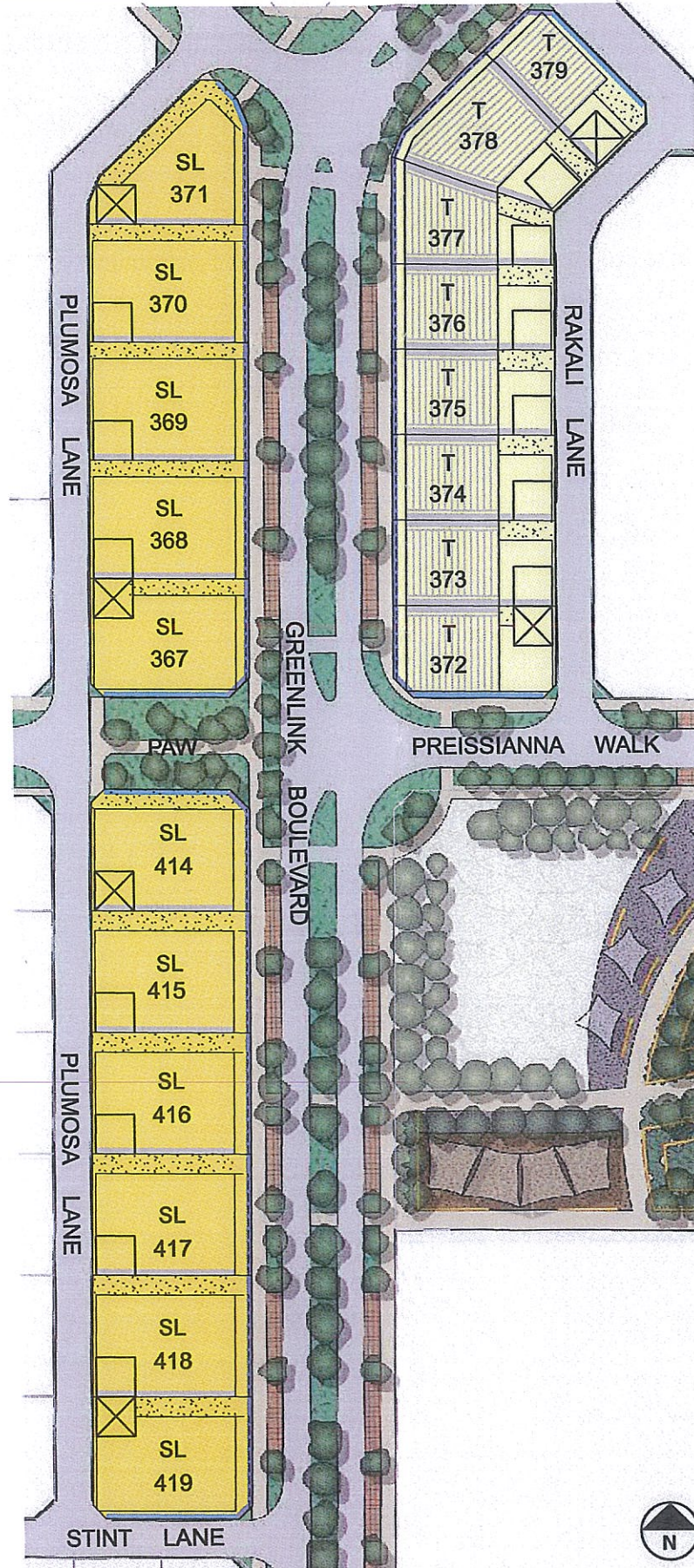
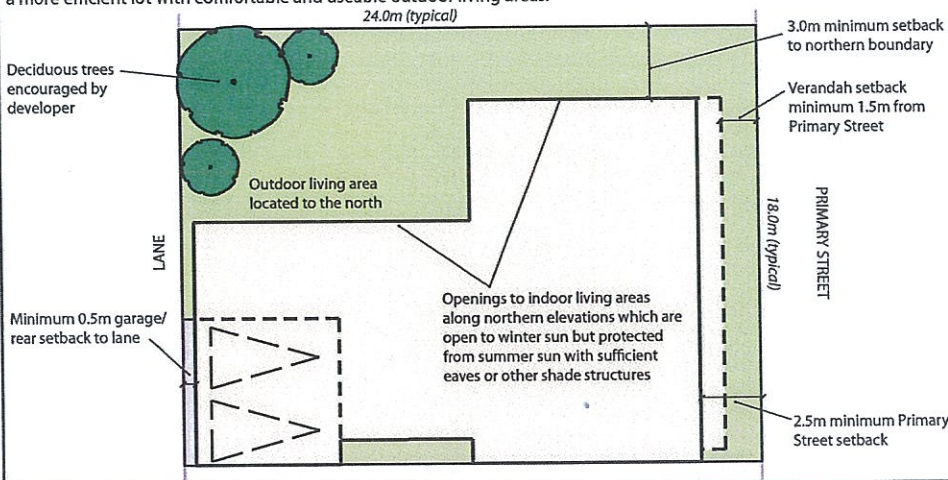
SL SQUARE HOUSE LOTS PROVISIONS

Minimum Outdoor Living Area	36m ²	
Building Setbacks	Minimum (m)	Maximum (m)
Primary Street	2.5	4.0
Primary Street - Verandahs, pergolas, patios or the like	1.5	-
Secondary Street and PAW setback	1.0	-
Rear setback	0.5	-
Side setback - Southern boundary	Nil	-
Side setback - Northern boundary	3.0	-
Side setback - Verandahs, patios or the like other than for where nil setback permitted (solar pergolas* are exempt)	2.5	-
Garage setback - Laneway	0.5	-

* A solar pergola is a pergola that is designed to allow direct winter sun access to north facing windows. The pergola may include battens so long as these are angled to allow sunlight access.

INDICATIVE SITE PLAN

Design Intent: The Square House Lot configuration, nil southern side setback and northern outdoor living areas will create a more efficient lot with comfortable and useable outdoor living areas.



LEGEND

- SL** Square House Lot (R30) with vehicular access via laneway only
- T** Townhouse Lot (R30) with vehicular access via laneway only
- ☒ Designated garage location
- Preferred garage location
- ▨ Designated zone for outdoor living area (Square Lots) / Preferred zone for outdoor living area (Townhouse Lots)
- ▧ Designated two storey zone (Townhouse Lots)
- Nominated boundary wall location/s
- Primary street - no vehicle access permitted
- Secondary street/PAW

T TOWNHOUSE LOTS PROVISIONS

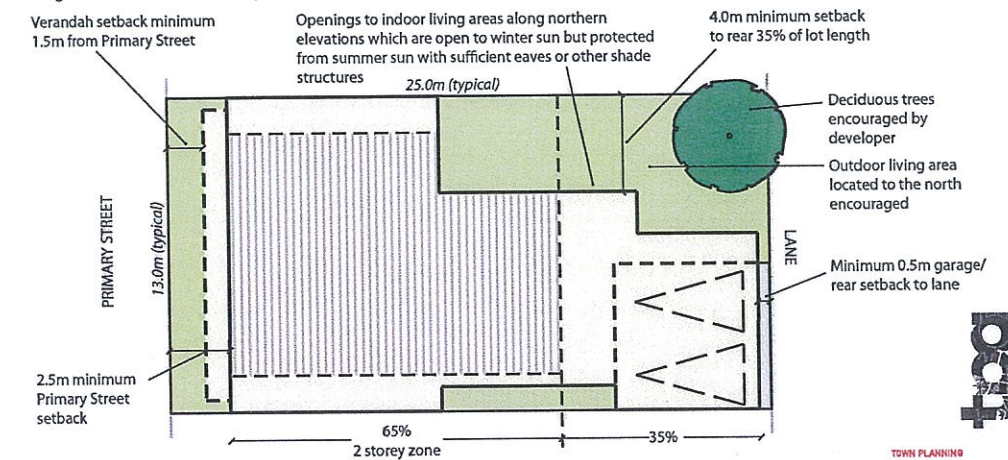
Two Storey Zone Where proposed, two storey areas shall be contained within the front 65% of lot length measured from the minimum Primary Street setback line and extending towards the rear of the lot. (Two storey areas are not mandatory).

Building Setbacks	Minimum (m)	Maximum (m)
Primary Street	2.5	4.0
Primary Street - Verandahs, pergolas, patios or the like	1.5	-
Secondary Street	1.0	-
Rear setback	0.5	-
Side setback - Southern boundary	Nil	-
Side setback - Northern boundary (for a maximum of 65% of the boundary length measured between the minimum Primary Street and rear setback lines)	Nil	-
Side setback - Northern boundary (for a minimum of 35% of the boundary length forward of and measured from the minimum rear setback line)	4.0	-
Side setback - Verandahs, patios or the like other than for where nil setback permitted (solar pergolas* are exempt)	3.5	-
Garage setback - Laneway	0.5	-

* A solar pergola is a pergola that is designed to allow direct winter sun access to north facing windows. The pergola may include battens so long as these are angled to allow sunlight access.

INDICATIVE SITE PLAN

Design Intent: These smaller single residential lots benefit from rear laneway access and close proximity to major neighbourhood roads, activity centres and public open space.



HARRISDALE GREEN ESTATE DISPLAY VILLAGE

