

**Legend**

- Local Development Plan Area
  - R30 Subject Lots
  - R40 Subject Lots
  - R60 Subject Lots
  - Public Open Space
  - Power Easement
  - Designated Double Garage Location
  - Designated Single Garage Location
  - Vehicle Access Point
  - Retaining Wall
  - No Vehicle Access Permitted
  - Visually Permeable Fencing (by developer)
  - Package A
  - Package B
- Lots identified in approved transportation noise assessment requiring quiet house design packages:

**Local Development Plan Provisions**

**Scheme and Residential Design Code Variations**

- The following criteria take precedence over, and operate as variations to the relevant R-Code standards and thereby constitute Acceptable Development.
- Compliance with this Local Development Plan (LDP) replaces the need for planning approval for a single house.
- Unless provided for below, the provisions of the City of Armadale Town Planning Scheme No.4 and the R-Codes apply.

**GENERAL PROVISIONS – Applicable to all lots**

- Where proposed within R30 and R40 zones, two storey areas shall be contained within the front 65% of the lot length between the minimum Primary Street and rear setback lines.
- Dwellings shall be designed so primary indoor living areas (e.g. living rooms, dining areas, kitchens) and a private useable outdoor area (e.g. verandah, pergola, patio or an outdoor living area) accessible from a habitable room are on the north or north-east side of the dwelling.
- Estate provided fencing/retaining on private lots to the Primary and Secondary Streets or to the POS boundary, shall not be modified without written approval from the City and shall be maintained as visually permeable by landowners where applicable.
- On-site drainage shall be in accordance with the approved Harrisdale Green Urban Water Management Plan.

**Vehicle Access**

- Access to on-site car parking for all corner lots may be provided from the primary street or secondary street frontage.
- Where access to on-site car parking is provided from the primary street frontage, it shall be located as per the 'Vehicle Access Point' shown on the LDP Plan, and may in these instances be located closer than 6 metres to a street corner or the point at which a carriageway begins to deviate. This represents an acceptable variation to R-Codes clause 5.3.5.

**Garage Width Requirements**

- For front loaded lots with street frontages between 10.5m and 12.0m, a double garage is permitted to a maximum width of 6.0m as viewed from the street subject to being 0.5m behind the dwelling alignment and a major opening to a habitable room directly facing the primary street. Lots with a frontage less than 10.5m or not compliant with the necessary requirements, require single width garages to a maximum width of 3.5m.

**Noise Attenuation Requirements**

- For lots with a Noise Assessment Package rating as identified on this LDP, dwellings on the identified lots shall be constructed in accordance with the Approved Noise Management Plan.

**R30 Specific Lot Provisions (in addition to the general provisions above)**

R – CODE DENSITY			
Lots 151-153, 241-244 and 246-281			
STREETSCAPE REQUIREMENTS			
Criteria	Location	Minimum	Limits
Primary Street	Dwellings – Lots 151 and 252-253	2.0m	• No maximum applicable and averaging is not permitted.
	Dwellings - all remaining lots	3.0m	• No maximum applicable and averaging is not permitted.
	Porch/verandah or the like	1.5m	• No maximum length applicable.
	Garage	4.0m	• Where an existing or planned footpath or DUP is located more than 0.5m from the street boundary
Secondary Street	Dwellings (Lot 252)	1.0m	• No maximum applicable and averaging is not permitted.
BOUNDARY SETBACK REQUIREMENTS			
Criteria	Location	Minimum	Limits
Buildings setback from a side boundary (other than Secondary Street)	All Lots	1.2m	• Wall height 3.5m or less with major openings
		1.0m	• Wall height 3.5m or less without major openings
Buildings built up to a side boundary (other than Secondary Street)	All Lots	Nil	• One side boundary for a maximum total length determined by front and rear setbacks. • A second side boundary is permitted for the purposes of garage/store only - 9.0m maximum length.
OPEN SPACE REQUIREMENTS			
Location	Minimum	Limits	
R30 Lots	40%	• OLA minimum area is 24m2 with a minimum dimension of 4.0m • OLA shall be located to maximise northern or eastern solar access. • Note: Outdoor living areas are permitted to be located within the street setback area for lots oriented to the north or north-east.	

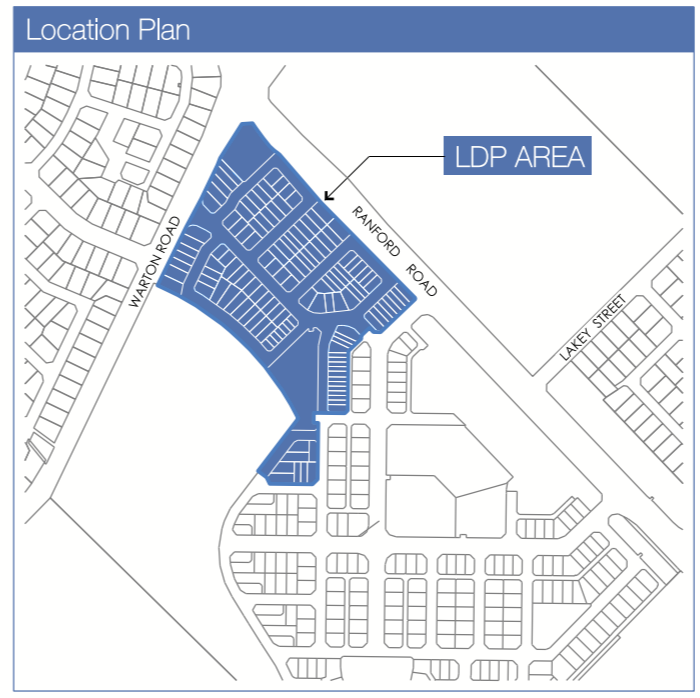
**Local Development Plan Provisions**

**R40 Lot Provisions (in addition to the general provisions above)**

R – CODE DENSITY			
Lots 154-213, 238-240 and 245			
STREETSCAPE REQUIREMENTS			
Criteria	Location	Minimum	Limits
Primary Street	Dwellings – Lots 156-157, 172-173, 183-186 and 203	2.0m	• No maximum applicable and averaging is not permitted.
	Dwellings – all remaining lots	2.5m	• No maximum applicable and averaging is not permitted.
	Porch/verandah or the like	1.5m	• No maximum length applicable.
	Garage	4.0m	• Where an existing or planned footpath or DUP is located more than 0.5m from the street boundary
BOUNDARY SETBACK REQUIREMENTS			
Criteria	Location	Minimum	Limits
Buildings setback from a side boundary (other than Secondary Street)	All Lots	1.2m	• Wall height 3.5m or less with major openings
		1.0m	• Wall height 3.5m or less without major openings
Buildings built up to a side boundary (other than Secondary Street)	All Lots	Nil	• Two side boundaries permitted. • No maximum length to one side boundary. • 2/3 maximum length to second side boundary. • Maximum wall height 3.5m (no averaging).
SPECIAL PROVISIONS			
Criteria	Location	Minimum	Limits
Public Open Space	Lot 5 – side boundary	1.5m	• No maximum applicable and averaging is not permitted. • Dwellings shall have one or more major opening(s) (and not being a door) facing and allowing an unobstructed view of the POS.
Overshadowing	All Lots	Nil	• No maximum overshadowing applicable for wall height 3.5m or less • No maximum overshadowing applicable for wall height greater than 3.5m where overshadowing is confined to the front half of the lot. IF overshadowing intrudes into rear half of the lot, shadow cast does not exceed 35%
OPEN SPACE REQUIREMENTS			
Location	Minimum	Limits	
R40 Lots	40%	• OLA minimum area is 20m2 with a minimum dimension of 3.0m • OLA shall be located to maximise northern or eastern solar access • Note: Outdoor living areas are permitted to be located within the street setback area for lots oriented to the north or north-east	

**R60 Lot Provisions (in addition to the general provisions above)**

R – CODE DENSITY			
Lots 214-237 and 263-269			
STREETSCAPE REQUIREMENTS			
Criteria	Location	Minimum	Limits
Primary Street	Dwellings	2.0m	• No maximum applicable and averaging is not permitted.
	Porch/verandah or the like	1.0m	• No maximum length applicable.
	Garage	4.0m	• Where an existing or planned footpath or DUP is located more than 0.5m from the street boundary
Secondary Street	Dwellings – Lots 214-221 (Greenlink Boulevard)	3.0m	• No maximum applicable and averaging is not permitted
Laneway (and laneway truncation where applicable)	Garage – Lots 222-237	0.5m	• No averaging permitted to minimum.
	Dwelling – All lots	0.5m	• No averaging permitted to minimum.
BOUNDARY SETBACK REQUIREMENTS			
Criteria	Location	Minimum	Limits
Buildings setback from a side boundary (other than Secondary Street)	All Lots	1.2m	• Wall height 3.5m or less with major openings
		1.0m	• Wall height 3.5m or less without major openings
Buildings built up to a side boundary (other than Secondary Street)	All Lots	Nil	• Two side boundaries permitted. • No maximum length to both side boundaries. • Maximum wall height 7.0m (no averaging).
SPECIAL PROVISIONS			
Criteria	Location	Minimum	Limits
Overshadowing	All Lots	Nil	• No maximum overshadowing applicable for wall height 7.0m or less
OPEN SPACE REQUIREMENTS			
Location	Minimum	Limits	
R60 Lots	35%	• OLA minimum area is 20m2 with a minimum dimension of 3.0m • OLA shall be located to maximise northern or eastern solar access • Note: Outdoor living areas are permitted to be located within the street setback area.	



**LOCAL DEVELOPMENT PLAN**  
 Stage 4 & Stage 6, Harrisdale Green  
 A Cedar Woods Properties Ltd Project

**DRAFT**

ENDORSEMENT TABLE	
This Local Development Plan has been approved by the City under Schedule 2, clause 52 (1)(a) of the Planning and Development (Local Planning Scheme) Regulations 2015	
A/ Executive Director Development Services	_____
City of Armadale	_____
Date	_____

Scale: 1:2000 @ A3

0m 10 20m

designed by	MB
checked by	JR
drawn by	BR/NM

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